

TO SUB COMMITTEE

## Living Spaces Required

to each household unit.

one room used or  
intended to be used as a  
room and 1 to each 250  
sq. ft. of gross floor area  
in service buildings.

one space to each 1,000 sq.  
ft. of bar or public space,  
one space to each guest  
plus one space to each  
staff.

for 2 patients and staff.

one space to every two persons the  
building is designed to  
accommodate.

# WAIMAIRI COUNTY COUNCIL

Permit No. \_\_\_\_\_

Application No. 1567 B1

(FOR OFFICE USE ONLY)

Riding \_\_\_\_\_

Assessment No. \_\_\_\_\_

File No. P/T/167

## APPLICATION FOR A BUILDING PERMIT

TO THE COUNTY ENGINEER,

Date 25<sup>th</sup> January 1978

Sir,

I hereby apply for permission to erect/~~alter~~/install a carport

(Dwelling, Garage, Shed, etc.)

at No. 67 Tuckers Road Street, in accordance with the SITE PLANS and detailed PLANS, ELEVATIONS AND SPECIFICATIONS submitted herewith in duplicate. (see over)

### PARTICULARS OF LAND

Lot No. 1 D.P. 27016 Area 607 m<sup>2</sup>

### PARTICULARS OF BUILDING

Foundations concrete Walls \_\_\_\_\_ Roof iron Floor \_\_\_\_\_Distance from Nearest Building: On Site 1.8 m On Adjoining Site 2.4 m

MAIN BUILDING – AREAS (see over)

Ground Floor \_\_\_\_\_ m<sup>2</sup> 1st Floor \_\_\_\_\_ m<sup>2</sup> Over Foundations \_\_\_\_\_ m<sup>2</sup>  
(or Basement)OUTBUILDINGS AREA – Proposed 14.4 m<sup>2</sup> Existing 25.92 m<sup>2</sup>TOTAL AREA OF ALL BUILDINGS (Existing and Proposed) 110.32 m<sup>2</sup>

### ESTIMATED VALUE OF PROPOSED WORK

Main Buildings \$ 340.00

Outbuildings \$ \_\_\_\_\_

Plumbing &amp; Drainage \$ \_\_\_\_\_

TOTAL \$ \_\_\_\_\_

Estimated Completion Date \_\_\_\_\_

Owner Mr E.J. Downey Address 67 Tuckers Road CH.CH 5Builder Malloch Holland Ltd Address 5 Springs Road CH.CH 4

Plumber \_\_\_\_\_ Address \_\_\_\_\_

Proposed purpose for which every part of the building is to be used or occupied (see over)

private car port.Telephone No. 489.567Yours faithfully,  
Owner/Builder Downey

### FEES PAYABLE

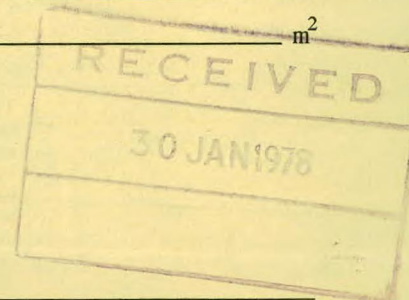
(FOR OFFICE USE ONLY)

REMARKS

Building Permit . . . . . \$  
 Inspection Fees . . . . . \$  
 Plumbing & Drainage Permit . . \$  
 F/P Opening/Crossing Deposit . \$  
 F/P Opening/Crossing Permit . \$  
 Vehicular Entrance . . . . . \$  
 Water Connection . . . . . \$  
 Builders Water Supply . . . . . \$  
 Building Research Levy . . . . . \$  
 TOTAL FEES PAYABLE . . . . . \$

APPROVED \_\_\_\_\_ (County Engineer)

19





## APPLYING FOR A BUILDING PERMIT

### COMPLETION OF THIS FORM

All details on the form must be completed, in cases where the answer is nil enter 'nil'.

### FLOOR AREAS

The area of each floor in buildings of more than single storey must be entered. For site coverage only the area of the ground floor is computed. In accessory buildings the floor areas are for computing permissible floor area.

### PROPOSED USE

The proposed use of every building or part of a building must be clearly indicated, e.g. private car garage, private storage shed, ownership flats, leasehold shops etc.

### STORMWATER DISPOSAL

An approved method of stormwater disposal must be provided to all buildings and must be fixed before occupation of the building.

NOTE: All stormwater must go to side channel except where otherwise specifically approved.

## DETAILS TO BE SUBMITTED WITH EVERY APPLICATION

The following extract from the Building By-Laws sets out briefly the details required with every application. Full details can be gained in N.Z.S. 1900, Chapter 2, Clauses 2.4 and 2.5.

### 2.5 PLANS AND SPECIFICATIONS

- 2.5.1. Together with every application there shall be submitted to the Engineer, in duplicate, detailed plans, elevations, cross sections, and specifications, which shall together furnish complete details of design and qualities and descriptions of all materials of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking and the provision made for full compliance with the requirements of this by-law and any other relevant by-law for the time being in force:—
  - (v) Detailed drawings shall be in such form and on such scale as the Engineer may consider necessary to ensure certainty of interpretation.
  - (vi) All drawings other than detailed drawings shall be accurately, clearly, and indelibly executed to scale, and shall be drawn in ink upon drawing paper or tracing cloth or printed upon cloth or approved paper. Except in the case of detailed drawings all drawings shall be to a scale of 1:100 or 1:50.
- 2.5.2. The drawings shall be accompanied by a locality plan. This locality plan shall be drawn to scale and shall show the site of the building, together with the land, streets, private streets, public places, private ways, public reserves, and buildings immediately surrounding the site and shall be sufficient to enable the Engineer to locate the precise situation of the site not only relative to the boundaries of its own land, but also relative to any buildings erected upon immediately adjoining lands.
- 2.5.3. On all drawings deposited under this chapter of this by-law the following methods shall be used to assist in making clear the various parts of the work:—
  - (i) The site of the proposed building shall be coloured or edged red.
  - (ii) Existing buildings immediately adjoining shall be coloured grey.
  - (iii) Sewers and sewer connections shall be shown by red lines.
  - (iv) Stormwater drains and drain connections shall be shown by green or black lines.
  - (v) The construction drawings shall be so prepared as to distinguish the various materials employed in the construction of the building, also existing work from new work.
- 2.5.5. In addition to the structural details etc., required, the plans and sections shall show as regards every floor of the proposed building the dimensions of the rooms the situation of the flues, fireplaces, stoves, and chimneys, and the position of all the several parts of the building, and every water closet, fuel store, wash-house, and all other appurtenances. The plan and section shall further show the proposed means of water supply, and the level of the lowest floor of the intended building and of the yard and ground belonging thereto, and also the means whereby it is proposed to deal with all stormwater and drainage.
- 2.5.6. When lodged, the application and drawings and other documents accompanying the application shall become the absolute property of the Council.



WAIMAIRI COUNTY COUNCILBUILDING CHECK SHEET

Application

B. 3567

Application Received:- Date \_\_\_\_\_ Initials of Receiving Officer \_\_\_\_\_

Details Required:

- 2 SITE PLANS - Distance from all boundaries and buildings - street front indicated  
Stormwater Disposal System shown.
- 2 SETS OF WORKING DRAWINGS - Fully detailed and dimensioned.
- 2 SETS OF ELEVATIONS - showing height and windows (size and openings)
- 2 CROSS-SECTIONS - Fully detailed and dimensioned, showing all beam fixings etc.
- 2 SETS OF SPECIFICATIONS - Spacing - Type of Materials etc.
- 2 PLUMBING AND DRAINAGE FORMS - (Non sewerred areas only) - Drainage layout.

WATER APPLICATION FORM SIGNED BY OWNER.

BUILDING PERMIT APPLICATION FORM FULLY COMPLETEDWhere required:

Written consent of adjoining owner.

Design Certificate or calculations. (Required for all reinforced blockwork and concrete)

Certificate of Registration from Building Projects Registration Authority.

Swimming Pool - Application form to discharge water.

Department	Check List	Remarks	Initials	Date
<u>TOWN</u>  <u>PLANNING</u>	Legal Description	✓		
	Zoning	RES A		
	Street Bo. Issued	N.A.		
	Building Line Restrict.			
	Conditional Use etc.			
	Parking Requirements			
<u>HEALTH</u>  <u>INSPECTORS</u>	General Requirements			
	Stormwater etc.			
	Food Premises			
	Apartment House			
<u>RATES</u>	Owner			
	Assessment No. entered			
<u>CHRISTCHURCH</u> <u>DRAINAGE</u> <u>BOARD</u>	Sewage Disposal PAP 129	006 4586/88	MMS	7/2/78
<u>WATERWORKS</u> <u>INSPECTOR</u>	Water Connection			

See Reverse Side for Remainder of Checks.



Department	Check List	Remarks	Initials	Date
<u>DANGEROUS</u> <u>GOODS AND</u> <u>BY-LAWS</u>	Dangerous Goods			
	Signs			
	Projections over St.etc.			
	Hoardings			
<u>STRUCTURAL</u> <u>CHECK</u>	Design Certificate			
	Calculations			
<u>SPECIAL</u> <u>APPROVALS</u>	County Engineer			
	T.P. Sub-Committee			
	Council			
	Resiting			
<u>FIRE AND</u> <u>EGRESS</u> <u>INDUSTRIAL</u> <u>COMMERCIAL</u> <u>PUBLIC</u> <u>BUILDINGS</u>	Occupancy Class.			
	Fire Zone			
	Type of Construct.			
	Fire Resist.Rating			
	Egress & Exit Signs			
	Fire Stops			
	Alarm/Emer.Lights			
	Fire Fighting Equip. (checked by Met. Fire Brigade)			
<u>BUILDING</u>  <u>INSPECTORS</u>	Siting and Height	Heating		
	Coverage	Stud Height		
	Construction:-	Room Sizes		
	Foundations:	Light and ventilation		
	Floor	F.R.R. (Residential)		
	Framing	Vehicular Access		
	Roof	Veh.Acc.Cnr Site		
	Veneer	Section Levels		
	Insulation - Floor			
	Walls			
	Ceiling			
	Fill			
	Building Regulations Certificate (date: )			

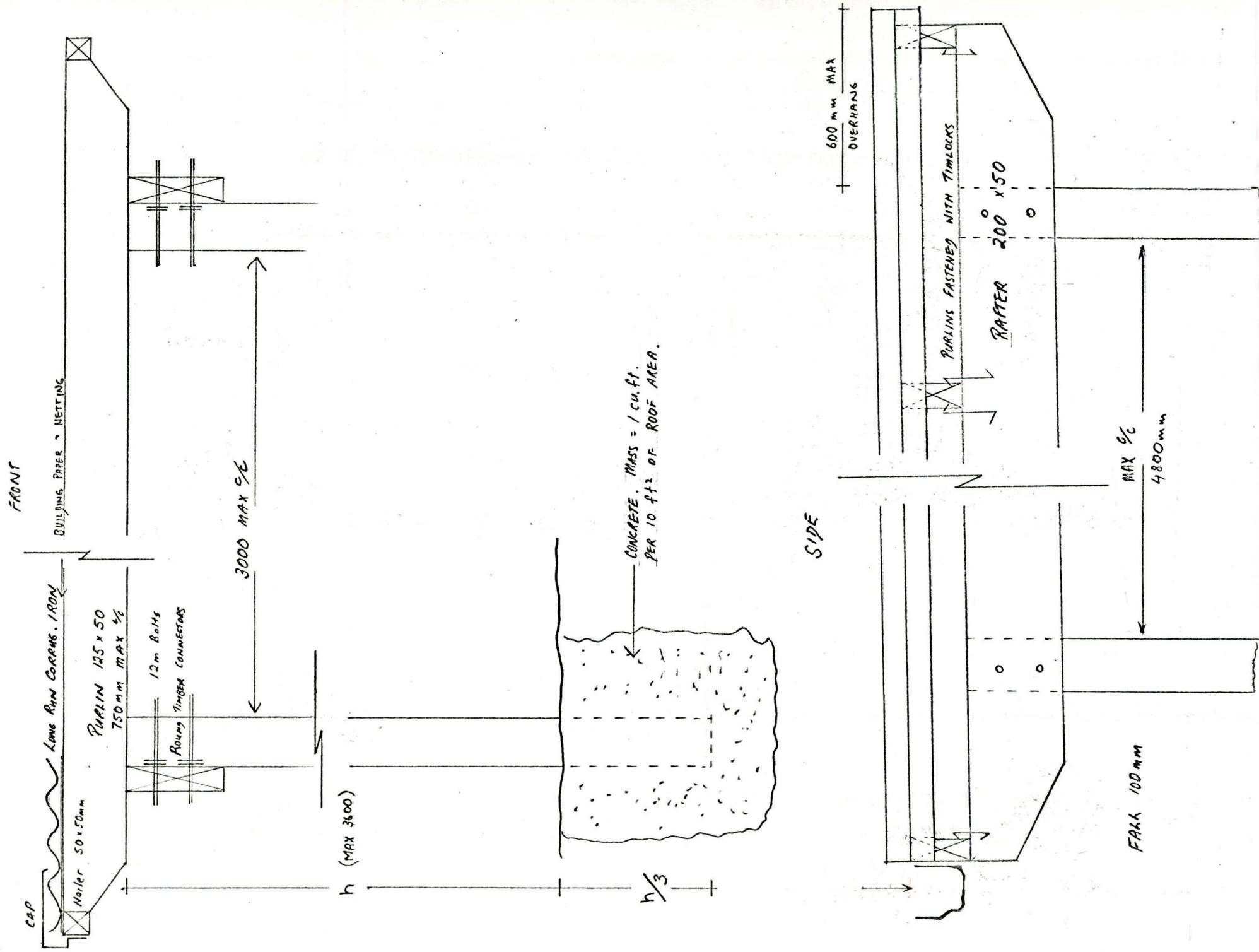
2nd Check Siting - all checks completed.

Signed \_\_\_\_\_  
(Checking Officer)


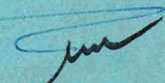
Date: \_\_\_\_\_



# CARPORT





P/T1/67  
*Mr Andersen.  
for info then to E.E.**Copy also to Mullock & Holland*  


20 March, 1978.

EH:RG

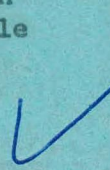
Mr. E. T. Downey,  
67 Tuckers Road,  
CHRISTCHURCH. 5.

Dear Sir,

PROPOSED CARPORT AT 67 TUCKERS ROAD

The siting of carports, garages etc. in the front yard, i.e. forward of the front line of the main building, of a property is not permitted under the Council's District Scheme Statement and Code of Ordinances.

However, Council, when the circumstances justify it, may grant a dispensation to permit a garage or carport in the front yard subject to the following conditions:-

- (i) Buildings should be sited as far away as possible from the road and shall comply with the fire requirements of the Council's Building By-law.
- (ii) Any garage shall be designed and constructed in materials to harmonise with the existing house, or sited so as to be screened from the road by a fence, wall or planting to the satisfaction of the County Engineer.
- (iii) Any carport shall be screened as in (ii) above.
- (iv) The height of any such building shall be kept to a minimum as approved by the County Engineer.
- (v) The building must be sited so that parking spaces which are attractive to use, are provided in accordance with the requirements of the Code of Ordinances.
- (vi) Any garage or carport shall be so sited that the vehicle access/egress does not face the road boundary of the site, unless in the opinion of the sub-committee, such siting is impracticable or would restrict the best utilization of the site.
- (vii) Any consent given under this policy shall lapse after the expiration of a period of six months from the date when the consent was given, unless the applicant, within that period, has established the use of the buildings to which the consent relates, or, in the opinion of the Sub-committee, is continuing to make substantial progress towards establishing that use." 



2.

It would appear that it is possible for your carport to be sited on your property in accordance with this policy (i.e. in front of the line of trees in front of your home) and be able to be adequately screened from the road.

Your application was referred to Council's Town Planning Sub-committee (Building Permits) and the application was deferred pending further investigation of the possibility of siting the carport in accordance with the policy as set out above.

Would you please advise me whether you are agreeable to the carport being sited in accordance with Council's policy in which case approval is likely to be given.

Should you not agree to the siting with indirect access, as per the sketch accompanying this letter then it is probable that the application will be referred to the April meeting of the Council for a decision.

It is pointed out that Council, in considering the matter will take into account its policy and the possibility of the carport being sited in accordance with its policy.

Should you wish any further information on this matter please contact your District Inspector, Mr. N. Anderson, or myself.

In the meantime your application is held over pending your further advice.

Yours faithfully,

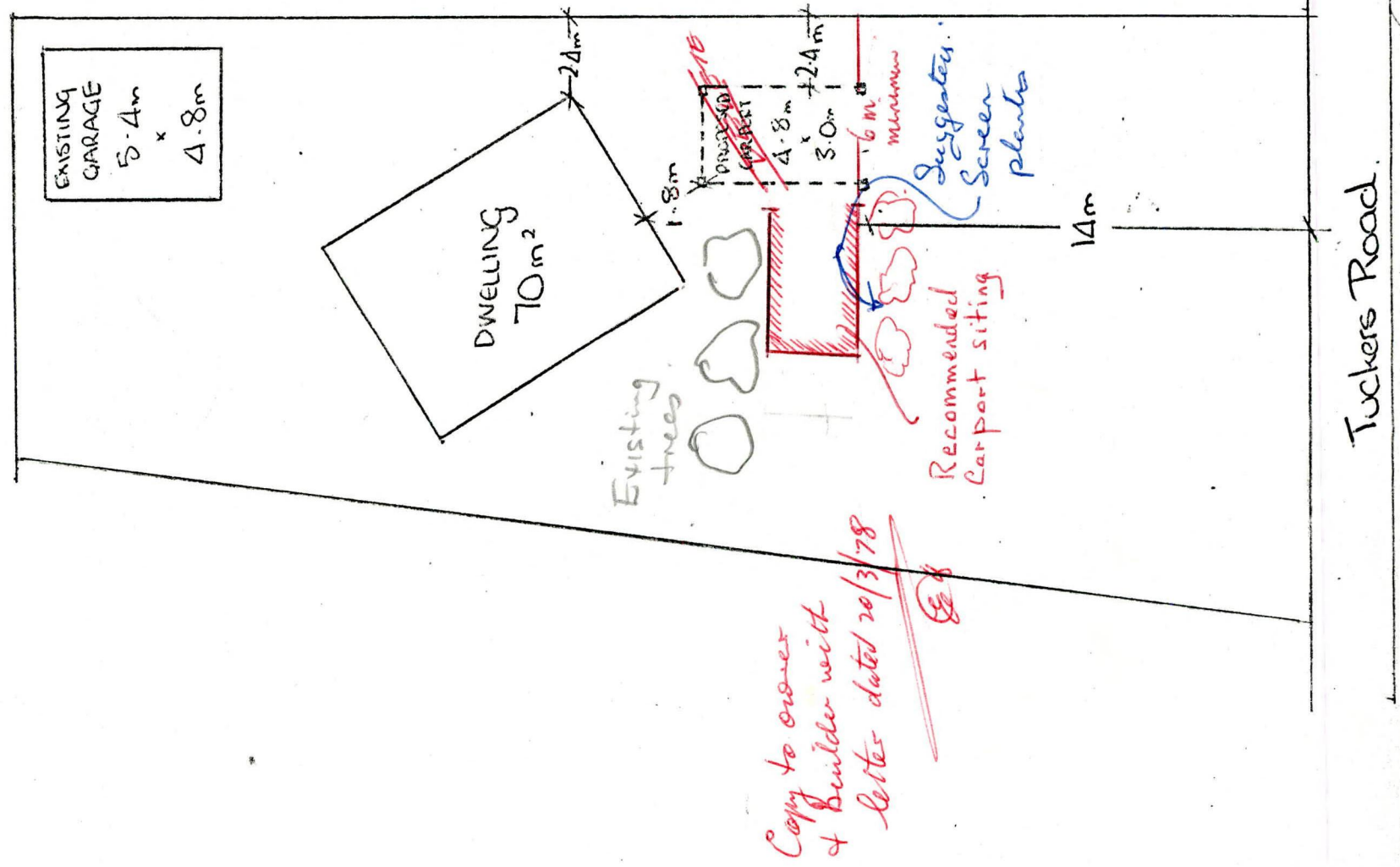


E. Hughes  
CHIEF BUILDING INSPECTOR.

*af 20.5.08*



manufactured by Skyline Buildings Ltd, Ph. 598.821  
64 A Wall's Rd, Ponrose, Auckland.



h of building  
er studs,  
ed into studs.  
100mm to suit  
50mm galv. iron



WCC 1567 4/86/88

FOR - MR. E. J. DOWNEY.

AT - 67 TUCKERS RD.

LOT 1 D.P. 27016.

ERSET A CAR-PORT.

Sanitary plumbing &  
drain laying not  
involved on this plan.

CHRISTCHURCH	
PLAN No.	PAP/29
LETTER REF.	
J.H.S.	
INSP.	<i>M. J. G.</i>
DATE	7/2/78
DRAINAGE BOARD	

WCC 1567 4/86/88

FOR - MR. E. J. DOWNER.

AT - 67 TUCKERS RD.

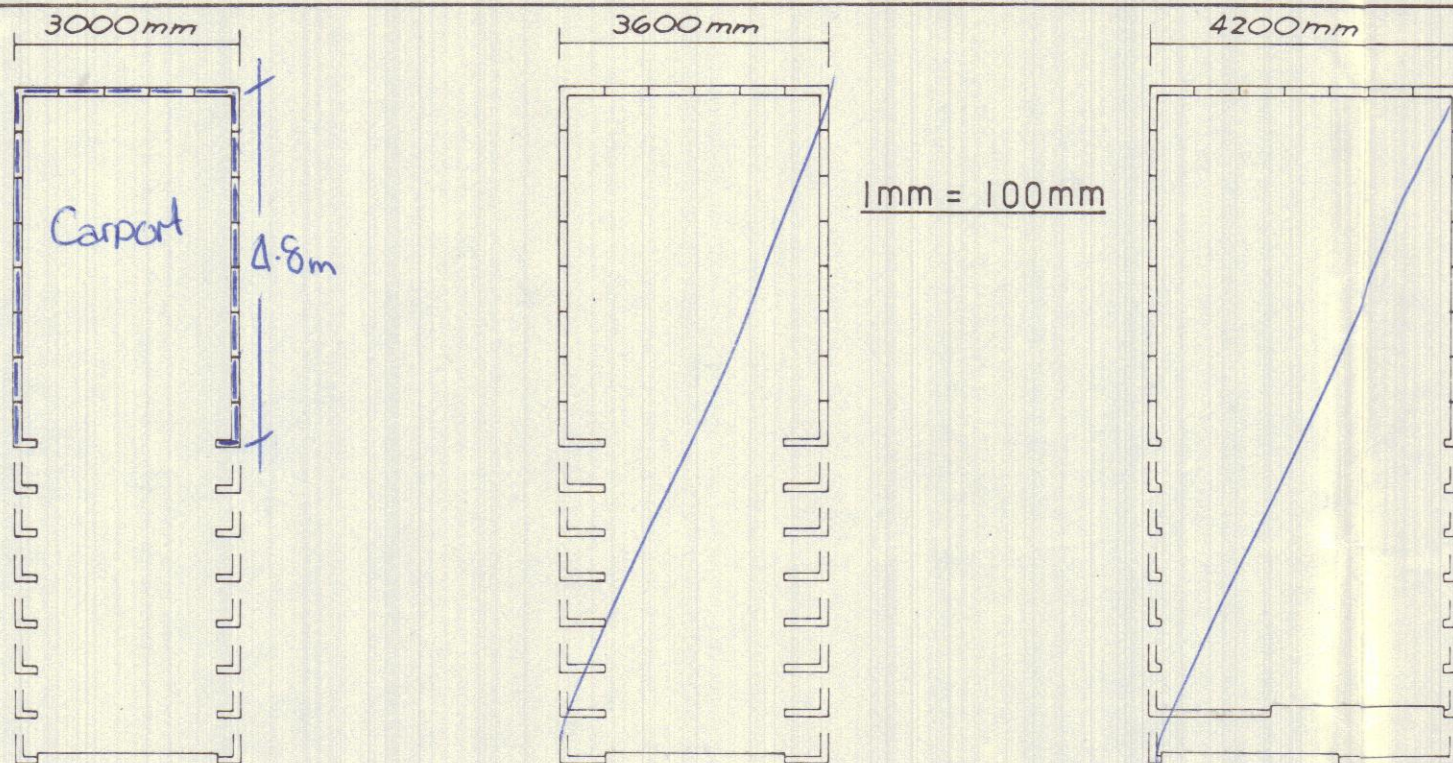
LOT 1 D.P. 27016.

ERECT A CAR-PORT.

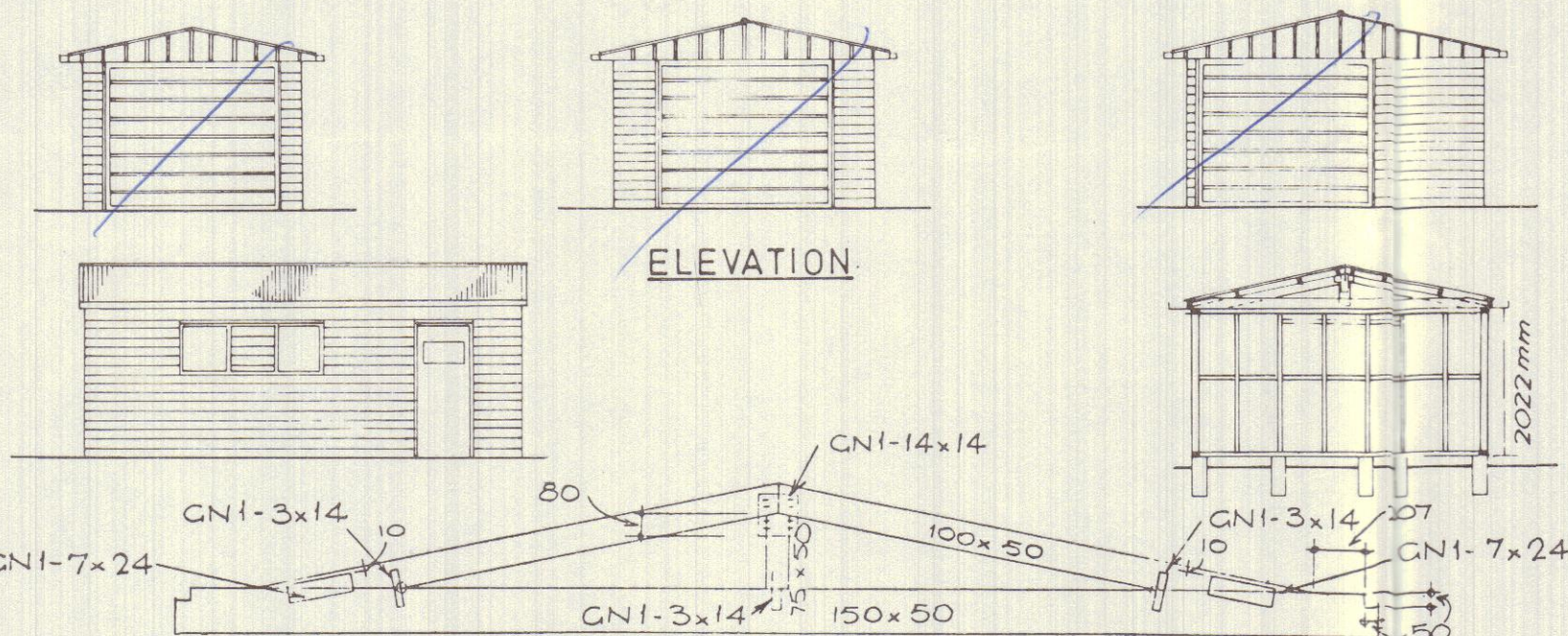
Sanitary plumbing &  
drain laying not  
included in this plan.

CHRISTCHURCH
PLAN No. <u>100/129</u>
LETTER REF. ....
J.H.S. ....
INSP. <u>[Signature]</u>
DATE <u>1/1/10</u>
DRAINAGE BOARD





See attached for specifications



AUTOMATED BUILDING COMPONENTS (NZ) LTD. DESIGN CERTIFICATE No. 4239

Truss as used for 4200mm span placed directly over stud at 2400mm & 1800mm crs to suit length of building.  
Truss as used for 3600mm & 3000mm spans reduced from above to same pattern.

**SPECIFICATIONS:**

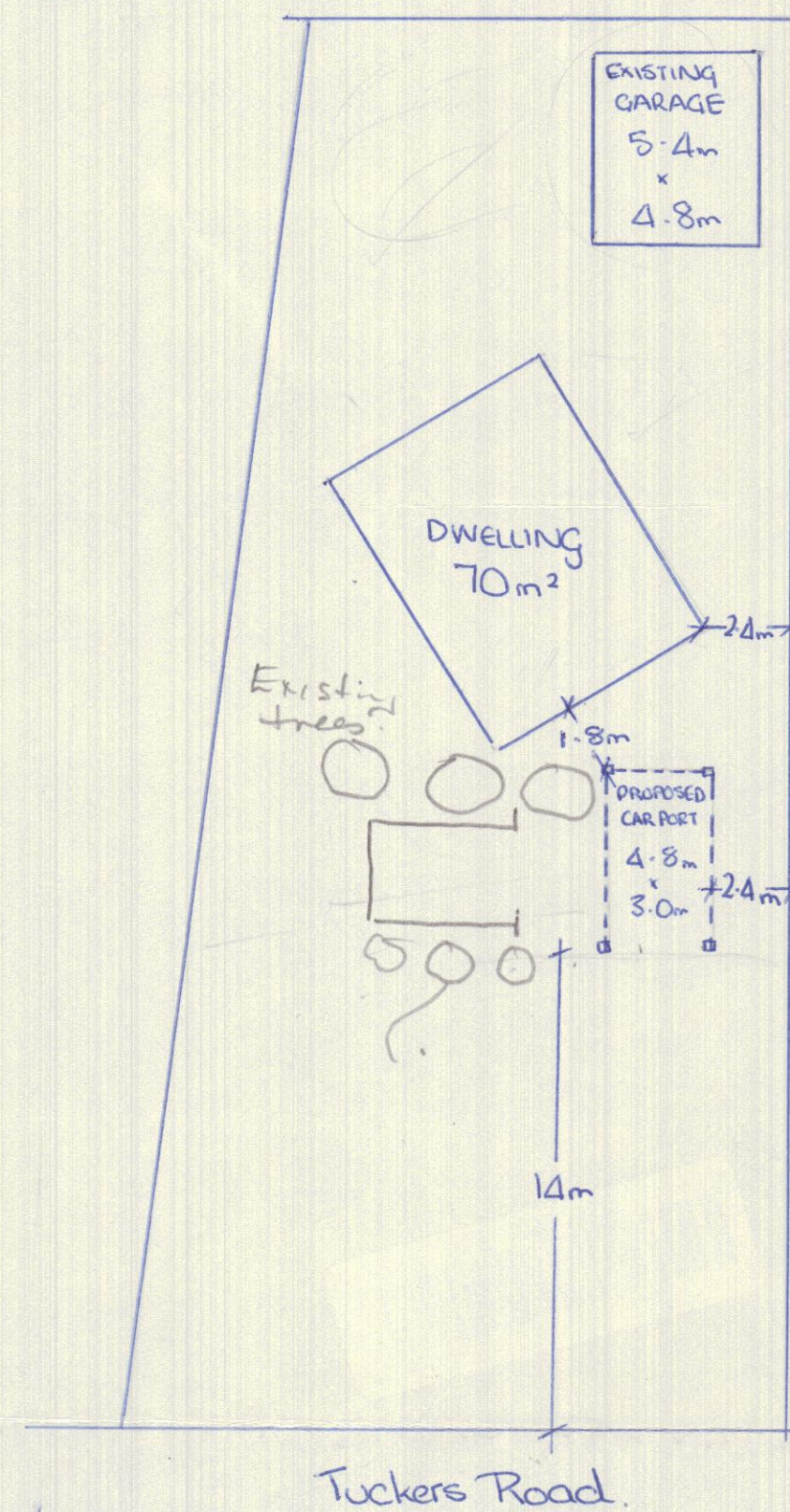
- Foundations:** 200 x 150mm concrete piles at 1200mm and 600mm centres under studs, or continuous concrete dwarf walls or complete floors.
- Dampcourse:** 2 ply d.p.c. under all plates.
- Framing:** All timber is boron treated machine gauged radiata.  
All framing is housed i.e. studs checked into plates & nogs checked into studs.
- Studs at 600mm centres**
  - Building up to 18m<sup>2</sup> - 75 x 50mm
  - Building over 18m<sup>2</sup> - 100 x 50mm
- Top and bottom plates and nogs**
- Wall braces:** 75 x 50mm cut-in on edge
- Door beams:** minimum 150 x 50mm with minimum of 13mm check in at each end.
- Roof trusses & purlins** as per detail drawing placed over studs at 1800mm & 2400mm to suit
- Dragon ties:** 50 x 50mm at 45° over top plates to each corner.
- Roofing:** 26 g. galv. corr. iron single sheets.
- Ridging:** 26 g. galv. lead edged.
- Downpipes:** 75 x 50mm galv. iron
- Walls:** 26 g. galv. metal weatherboards.
- Spouting:** 24g. galv. iron gutters fixed ea. side.
- Doors:** 24 g. & 26g. metal doors on overhead gear or galv. roller doors.

~~GARAGE, SHED~~ at 67 Tuckers Road.  
CARPORT.

for E.J. Downey

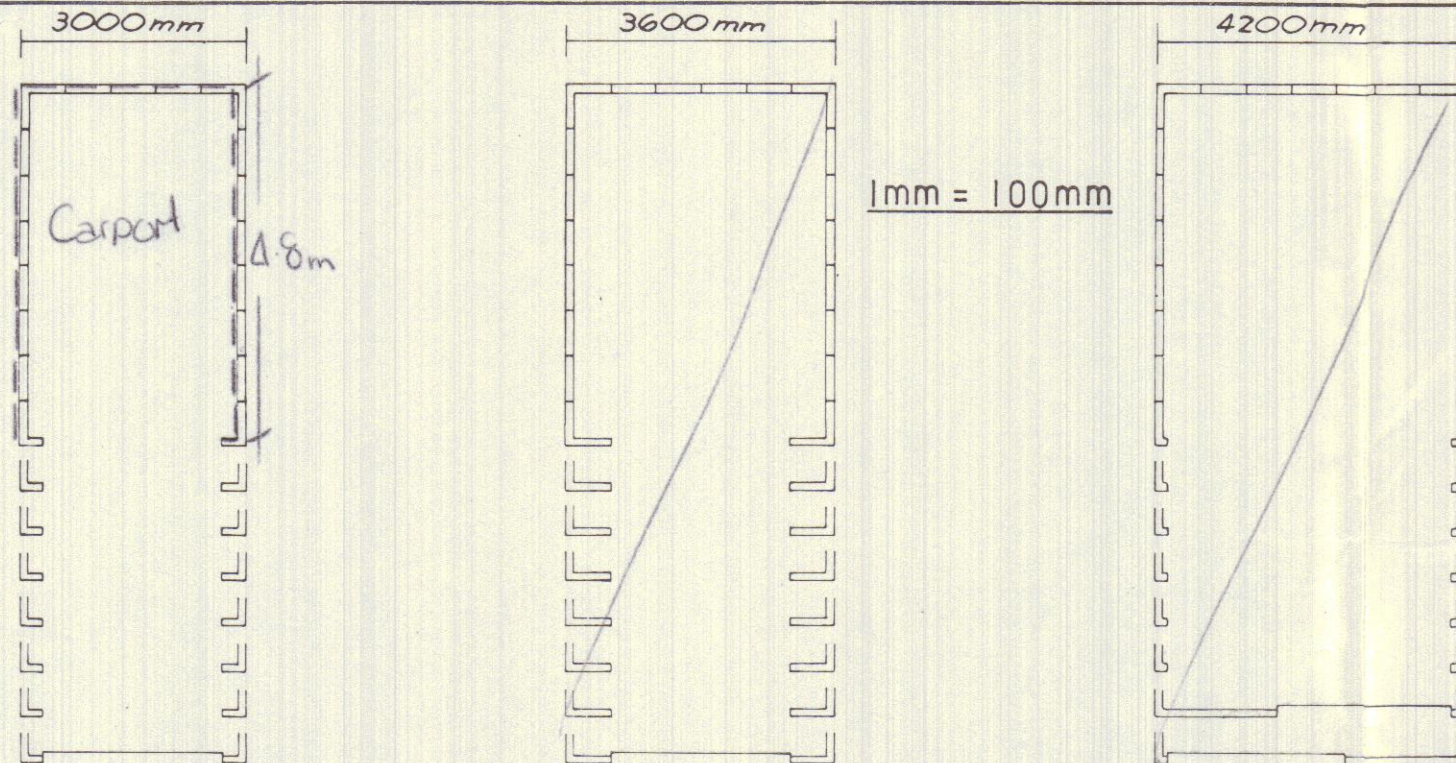
# SKYLINE GARAGES

manufactured by Skyline Buildings Ltd.,  
64 A Wall's Rd, Penrose, Auckland. Ph. 598.821

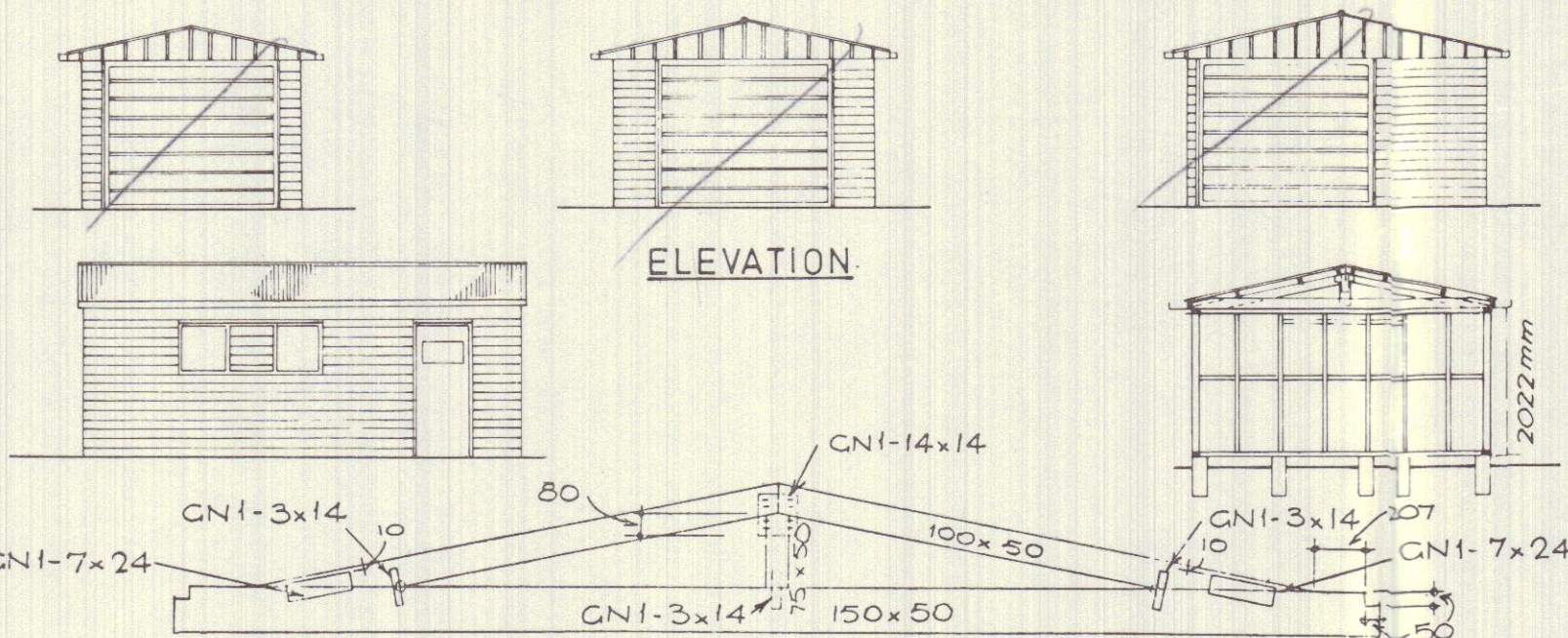


SITE PLAN 1mm = 200mm





See attached for specifications



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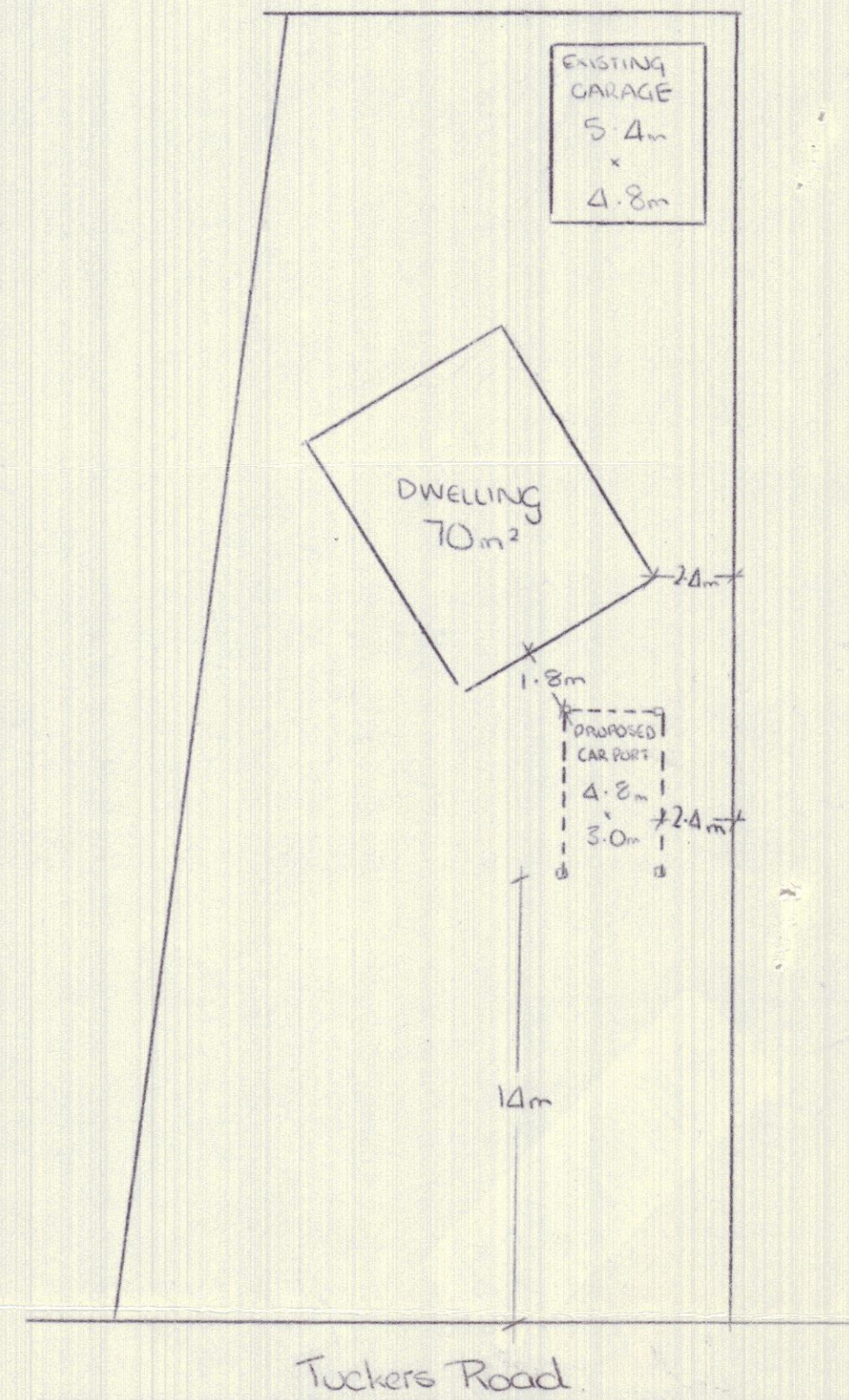
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